

Ancillary constructions and equipment

Garages and carports for residential buildings

In order to promote harmony in exterior appearance, the Borough of Saint-Laurent has adopted regulations to guide the construction of certain structures accessory to a residential building.

A permit or a certificate of authorization must be obtained from the Borough prior to constructing or installing a garage or a carport, whether attached or separated from the main building.

Process

To submit a request for a permit or an authorization certificate, the form, "Demande de permis de construction pour l'agrandissement du bâtiment principal" if the garage is attached, or "Demande de permis de construction pour une construction accessoire" for a carport or if the garage is detached, must be filled in and attached to the required documents. These documents must be submitted to the Division des permis et des inspections, located at 777, boulevard Marcel-Laurin.

Costs

Fees are required to process a request.

Authorized types of garages and carports

- Attached or detached garages
- Attached or detached carports

Seasonal car shelters are prohibited everywhere within the Borough's jurisdiction.

General provisions

A garage or a carport may only be used for the storing of residential passenger vehicles.

Exterior cladding

An attached or a detached garage must be covered with an exterior cladding material that is authorized for a main building and must harmonize with the main building.

Exterior wood surfaces must be protected against the climate with paint, creosote, varnish, oil, etc. Cedar wood may be left untreated.

Authorized structures

Single-family housing

- Installation: Attached or detached carport or garage
- Maximum area: 50 m²

Two-family and multiplex housing

- Installation: Attached garage
- Maximum area: 30 m² per dwelling

Detached garage or carport (figure 1)

The following provisions must be followed for detached garages and carports:

Authorized locations

- Side yard and side setback
- Back yard and rear setback
- Back yard and front setback in the case of a transverse lot¹

Maximum height

- 4.50 m

Minimum distance from a lot line

- Garage: 2 m
- Carport: 30 cm (calculated from the vertical projection of the roof edge) (figure 2)

Figure 1: Location of a detached garage or carport.

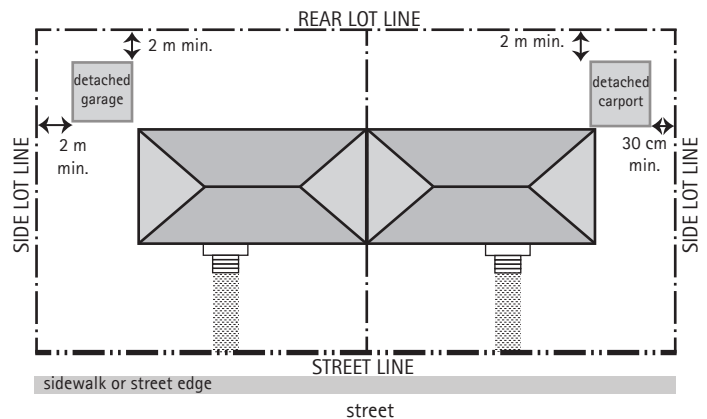
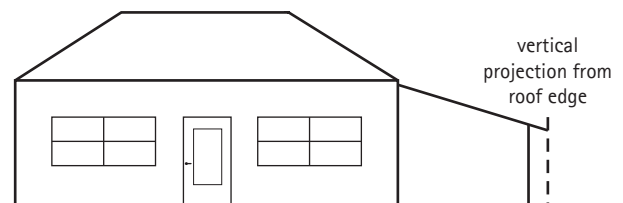


Figure 2: Roof projection



Minimum distance from a rear lot line

- Garage or carport: 2 m

A detached garage or carport can encroach on the rear setback as long as the minimum distance mentioned above is respected.

It is possible that the construction of a garage is subject to a Site Planning and Architectural Integration Program procedure (SPAIP). Consult the infosheet "Regulations: Site Planning and Architectural Integration Program" for further details.



Attached garage or carport (figure 3)

The following provisions must be followed for attached garages and carports:

Authorized locations

- Front yard and front setback
- Side yard and side setback
- Back yard and rear setback
- Back yard and front setback

Maximum height

- 4.50 m

Minimum distance from a side lot line

- Garage: 1,2 m
- Carport: 30 cm (calculated from the vertical projection of the roof edge)

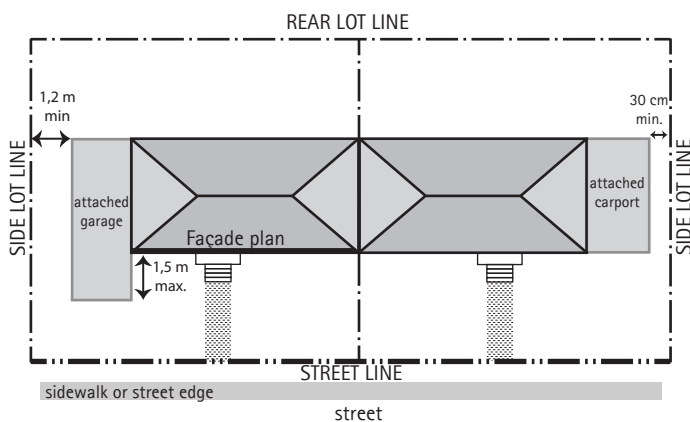
Maximum projection of the garage in relation to the main building's overall façade plan²:

- 1,5 m

Open dimensions

- Rear: At least 40% of the width of the side
- Other sides: Minimum of 80% of the surface

Figure 3 : Location of an attached garage or carport



Carport openings

All sides of a carport not attached to the main building must have openings.

IMPORTANT: Depending on their nature and magnitude, certain construction projects may require obtaining a permit to occupy the public domain, particularly due to the installation of a container, a debris chute or the presence of materials on public roads. For more information, consult the information sheet, "Regulation: Occupation of the public domain".

Definition

¹Transverse lot : Lot fronting on 2 parallel streets.

²Façade plan : The part of the building facing the street in the case of an interior lot or in the case of a corner lot or the part that contains the main entrance in the case of a transverse lot.



Information: 311 - ville.montreal.qc.ca/saint-laurent/infosheets

Legal framework: Règlement sur le zonage n° RCA08-08-0001
Règlement sur les tarifs n° RCA18-08-1

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